TOWNSHIP OF VERONA
BOARD OF ADJUSTMENT APPLICATION

DATE APPLICATION _____ CASE # 2025-01

PROPERTY ADDRESS 107 Hillside Ave., Verona, NJ 07044

BLOCK 2000 LOT 16 ZONE R-50

APPLICANT'S NAME Chris and Lauren Hertz

PHONE # _____ CELL PHONE # 908-612-4132

EMAIL skippy2600@comcast.net, laurenbhertz@gmail.com

PROPERTY OWNER'S NAME Chris and Lauren Hertz

PROPERTY OWNER'S ADDRESS 107 Hillside Ave., Verona, NJ 07044

PROPERTY OWNER'S PHONE # _____ CELL # 908-612-4132

PROPERTY OWNER'S EMAIL skippy2600@comcast.net, laurenbhertz@gmail.com

RELATIONSHIP OF APPLICANT TO OWNER same

REQUEST IS HEREBY MADE FOR PERMISSION TO DO THE FOLLOWING:
To build a two story wood frame addition at the rear of the home with an associated patio.

CONTRARY TO THE FOLLOWING:

~~150-17.5D(4)- Lot Coverage reqm't. of 40%. max. New patio would increase lot coverage from 44% to 44.74%.~~
150-17.5F(4)- Max. Aggregate Area Accessory Structures Rear Yard reqm't. of 390 max. New rear yard would cover 474 sf., 84 sf over max., or 18.3%, 3.3% over 15% max.

LOT SIZE: EXISTING 6476 sf PROPOSED 6476 sf TOTAL 6476 sf

HIEGHT: EXISTING +/- 32'-9 1/2" PROPOSED +/- 29'-0"

PERCENTAGE OF BUILDING COVERAGE: EXISTING 20% PROPOSED 24.41%

PERCENTAGE OF IMPROVED LOT COVERAGE: EXISTING 44% PROPOSED 44.74%

PRESENT USE single family residential PROPOSED USE single family residential

SET BACKS OF BUILDING:	REQUIRED	EXISTING	PROPOSED
FRONT YARD	30'	26.1' (at porch)	26.1' (at porch)
REAR YARD	30'	+/- 61.6'	+/- 53.6'
SIDE YARD (1)	8'	6.6'	6.6'
SIDE YARD (2)	8'	9.3'	9.3'

DATE PROPERTY WAS ACQUIRED 12/09/2019

TYPE OF CONSTRUCTION PROPOSED:
A two story wood frame construction, to create a first floor dining/living space and a second floor master bedroom suite.

SIGN INFORMATION (if applicable): supply details on location, dimensions, height and illumination
N/A

AREA PER FLOOR (square feet):	EXISTING	PROPOSED	TOTAL
BASEMENT	868	350	1218
FIRST FLOOR	949	269	1218
SECOND FLOOR	698	364	1062
ATTIC	0	0	0

NUMBER OF DWELLING UNITS: EXISTING 1 PROPOSED 1

NUMBER OF PARKING SPACES: EXISTING 2 PROPOSED 2

History of any previous appeals to the Board of Adjustments and the Planning Board
N/A

What are the exceptional conditions that warrant relief from compliance with the Zoning Ordinance?
Owner is asking for a minimal increase in rear area coverage over the current coverage for an addition to add space for their growing family.

Supply a statement of facts showing how relief can be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Zone Plan and the Zoning Ordinance
Increase in lot coverage is to provide family with a usable patio. Increase over existing coverage is under 1% (0,74%).

History of any deed restrictions:
N/A

A legible plot plan or survey to scale (not less than 1"=100') of the property indicating the existing and/or proposed structure and scale drawings of the existing and/or proposed structure must be provided.

A copy of any conditional contract relating to this application must be filed with this application.

If the applicant is a corporation or partnership, the names, addresses and phone numbers of those owning a 10% or greater interest in the corporation shall be provided.

Name_____ Address_____ Phone #_____
Name_____ Address_____ Phone #_____
Name_____ Address_____ Phone #_____
Name_____ Address_____ Phone #_____

Expert witness(es) that will present evidence on behalf of this application:

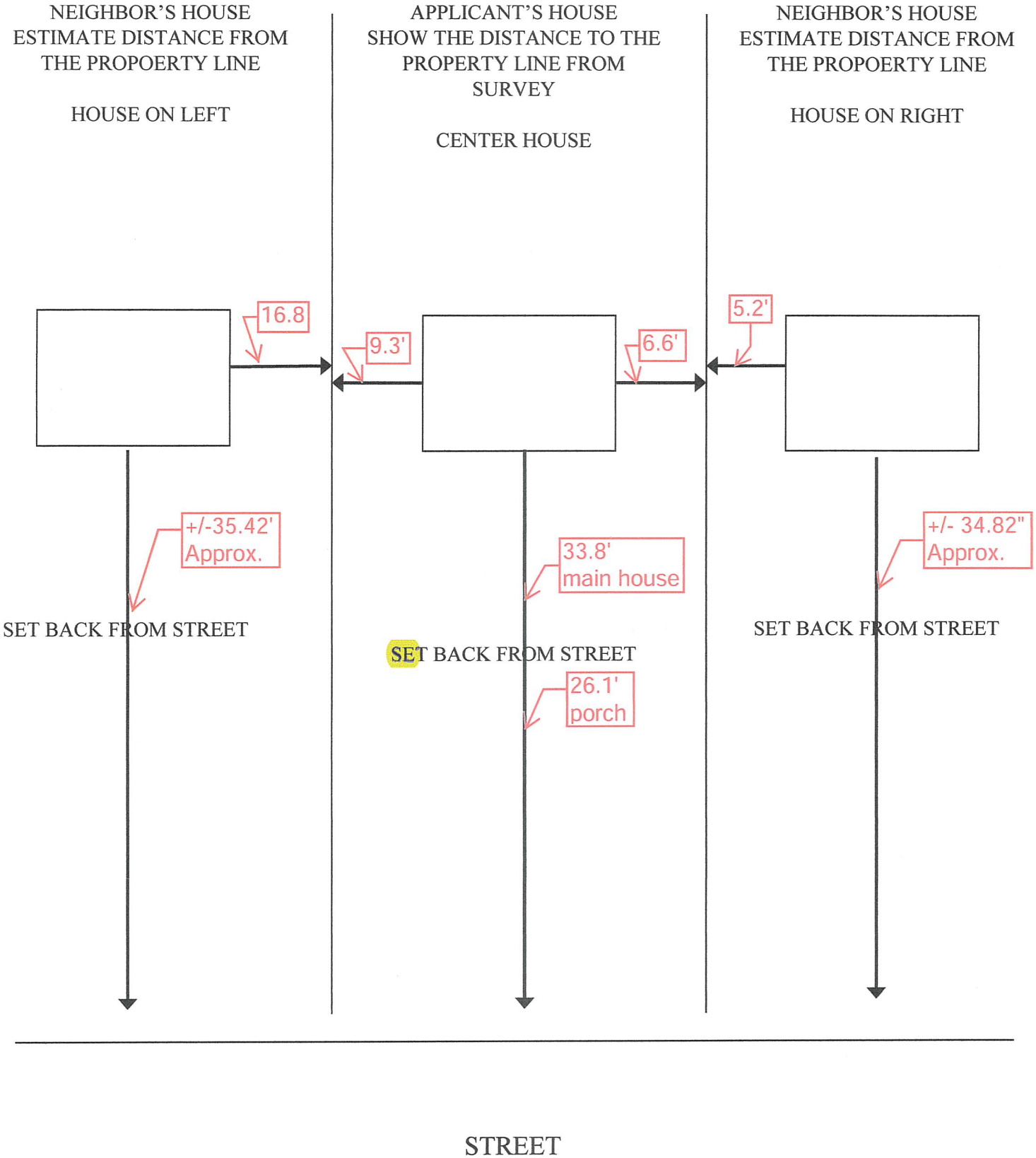
Attorney:
Name _____
Address _____
Phone # _____
Fax # _____
Email _____

Architect/Engineer:
Name James S. Karas
Address 27 Briar Hills Circle, Springfield, NJ 07081
Phone # 973-467-9340, 908-403-3826
Fax # 973-218-8490
Email jskarch@aol.com

Planner:
Name _____
Address _____
Phone # _____
Fax # _____

BOARD OF ADJUSTMENT APPLICATION SITE PLAN

O INDICATES SHRUBS OR TREES
X INDICATES FENCES



AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY
COUNTY OF ESSEX

Chris Hertz OF FULL AGE, BEING DULY SWORN ACCORDING TO LAW ON OATH DEPOSED AND SAYS, THAT DEPONENT RESIDES AT 107 Hillside Ave., IN THE CITY OF Verona IN THE COUNTY OF Essex AND STATE OF NJ AND THAT Chris and Lauren Hertz IS THE OWNER IN FEE OF ALL THAT CERTAIN LOT, PIECE OF LAND, SITUATED, LYING AND BEING IN THE TOWNSHIP OF VERONA AFORESAID AND KNOWN AND DESIGNATED AS BLOCK 103 AND LOT 16 AS SHOWN ON THE TAX MAPS OF THE TOWNSHIP OF VERONA.

NOTARY OWNER

David E Torres
Commission# 50215983
Notary Public of New Jersey
Commission Expires 11/14/2028

AFFIDAVIT OF APPLICANT

COUNTY OF ESSEX
STATE OF NEW JERSEY

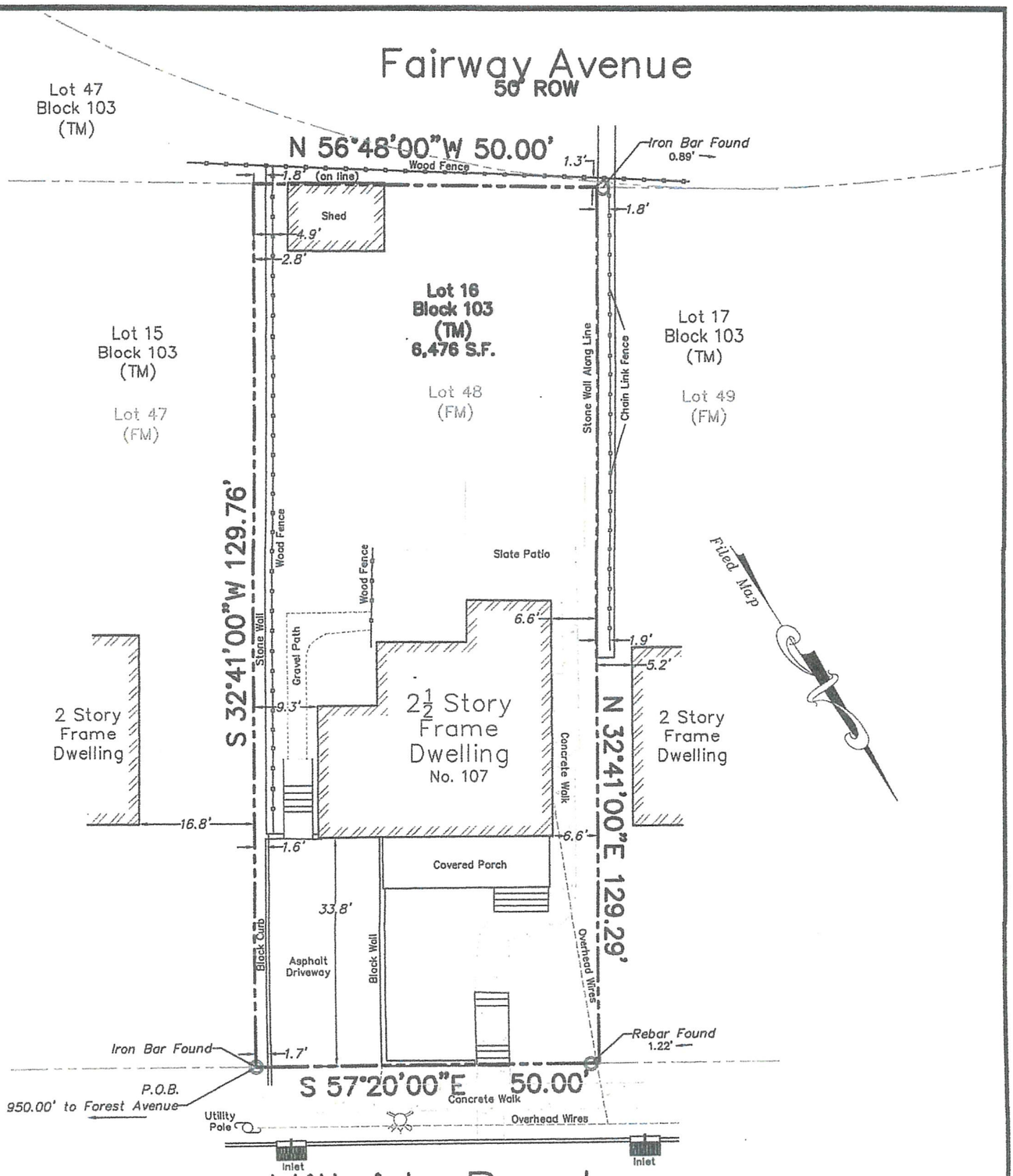
Lauren Hertz OF FULL AGE, BEING DULY SWORN ACCORDING TO LAW, ON OATH DEPOSED AND SAYS THAT ALL OF THE ABOVE STATEMENTS CONTAINED IN THE PAPERS SUBMITTED HEREWITH ARE TRUE. SWORN TO AND SUBSCRIBED BEFORE ME ON THIS 17 DAY OF AUGUST 2024.

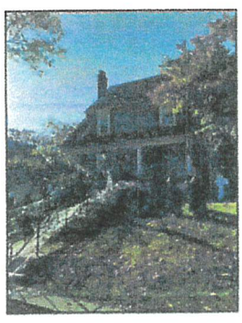
NOTARY APPLICANT

David E Torres
Commission# 50215983
Notary Public of New Jersey
Commission Expires: 11/14/2028

Board of Adjustment Application - Photos
Addition to the Hertz Residence Block 103, Lot 16,
107 Hillside Avenue, Verona, NJ 07044

JSK Architecture, LLC
27 Briar Hills Circle
Springfield, NJ 07081





This survey certified to:
Christopher & Lauren Hertz

KNOWN AND DESIGNATED as Lot 48 as shown on a certain map entitled, "Revised Map of Oak Ridge Park showing property of the Harvester Realty Corp. on Morningside Road and the Wilsam Realty Company on Hillside Avenue, Verona and Essex Falls, NJ" dated November 1, 1927 and filed in the Essex County Clerk's Office on December 15, 1927 as Map No. 1028.

This survey references:
Deed Book 495 Page 127
Deed Book 4377 Page 556
Deed Book 4533 Page 228
Deed Book 5169 Page 928
Deed Book 5707 Page 518

Notes:
1. Field Survey Performed on 10/31/2024
2. Subject to an accurate title search
3. Subject to documents of record

A written Waiver and Direction Not to Set Corner Markers has been obtained from the ultimate user pursuant to P.L.2003, c.14 (C45:8-36.3) and N.J.A.C. 13:40-5.1 (d).

GRAPHIC SCALE
20 0 10 20 40
1 inch = 20 ft.

I declare that this plan is based on actual field survey performed by *Lakeland Surveying, Inc.*, under my direct supervision, in accordance with N.J.A.C. 13:40-5.1 and to the best of my professional knowledge, information and belief, correctly represents the conditions found on the date of the field survey, except such easements, if any, below the surface of the lands not visible. This declaration is given solely to the above named parties for this transaction only and is not transferrable. Survey is valid only if print has original raised seal of the undersigned professional. This plan is made to provide information to the title insurer so that it may insure title to the lands shown hereon.

Lakeland Surveying
4 West Main Street | Rockaway | NJ
Ph: (973) 625-5670 | Fx: (973) 625-4121
www.LakelandSurveying.com
Certificate of Authorization #24GA28090000

PROJECT NUMBER		
110698[24]		
REFERENCE NUMBER		
-		
SCALE	DATE	
1"=20'	11/7/24	
FIELD:	DWN BY:	CHECKED:
DKH/SG	JLL	MJC

SURVEY OF PROPERTY
Tax Lot 16 - Block 103
107 Hillside Avenue, Township of Verona
Essex County, New Jersey

MARC J. CIFONE, Professional Land Surveyor — N.J. Lic. No GS 41329
JEFFREY S. GRUNN, Professional Land Surveyor — N.J. Lic. No GS 43399

TOWNSHIP OF VERONA
COUNTY OF ESSEX, NEW JERSEY

TOWNSHIP MANAGER
JOSEPH O. D'ARCO
TOWNSHIP CLERK
JENNIFER KIERNAN

DEPUTY MANAGER
KEVIN O'SULLIVAN
TOWNSHIP ATTORNEY
BRIAN J. ALOIA, ESQ.

VERONA COMMUNITY CENTER
880 BLOOMFIELD AVENUE
VERONA, NEW JERSEY 07044

MUNICIPAL BUILDING
600 BLOOMFIELD AVENUE
VERONA, NEW JERSEY 07044
(973) 239-3220
WWW.VERONANJ.ORG

DEPARTMENT OF PUBLIC WORKS
10 COMMERCE COURT
VERONA, NEW JERSEY 07044

Zoning Office 880 Bloomfield Avenue, Verona, NJ 07044 973-857-4772

January 6, 2024

Zoning Application #2024-205 – Denied - Addition, Patio Extension, AC Condenser

Owner/ Applicant: Chris & Lauren Hertz
107 Hillside Avenue
Verona, NJ 07044

Property: 107 Hillside Avenue; Block 103, Lot 16

Zone: R-50 (High-Density Single Family) Zone District

Submittals:
This office is in receipt of the following:

- Township of Verona Residential Permit Application;
- Site Plans by JSK Architecture, LLC, signed and sealed by James S. Karas, Architect, dated November 26, 2024; page 1 revised 12/18/2024
- Survey by Lakeland Surveying. Signed and sealed by Marc J. Cifone, PLS, dated 11/07/2024

ZONING REQUEST:

Based upon the zoning permit application is seeking approval to construct a 296 square foot addition, patio extension and new condenser. No other requests have been submitted or shown and therefore have not been considered in this departmental review. This review is for zoning only.

ZONING DETERMINATION:

- The property is zoned as R-50 (High-Density Single Family).
- Per § 150-17.5 A. (1) Single-family homes;
- Per § 150-17.5 D. (1) Minimum lot size: 5,000 square feet where existing is 6476 square feet – Compliant;
- Per § 150-17.5 D. (2) Minimum lot width: 50 feet where existing is 50 feet – Compliant;
- Per § 150-17.5 D. (3) Maximum lot coverage: 30% or 1942.8 SF where existing is 1296 square feet or 20% and proposed is 24.4% or 1581 square feet – Compliant;
- Per § 150-17.5 D. (4) Maximum improved lot coverage: 40% or 2590 square feet where existing is 2852 or 44% - pre-existing non-conforming - and proposed is 44.73% or 2897

square feet; this is an exacerbation of a pre-existing non-conforming condition – **A Variance is Required.** Please note the plans submitted do not include the AC Condenser pad in the coverage number. This number should be corrected if variances are going to be applied for.

- Per § 150-17.5 E. (1) Minimum front yard setback is 30'; existing 33.8' to dwelling and 26.1' from porch; no proposed change – Compliant;
- Per § 150-17.5 E. (2) Minimum side yard setback – Compliant
  - (one): eight feet where proposed addition is:
    - 6.6 feet on the NE property line – pre-existing non-conforming;
    - 18.3 feet setback on the SW property side;
  - (3) Minimum side yard setbacks (both): 18 feet where 24.9 feet is proposed;
- Per § 150-17.5 E (6) Maximum height (stories/feet): 2.5/30; existing is 2.5/32 ' 9 ½" – pre-existing non-conforming, proposed for addition is 2.5/29' 6" – Compliant;
- Per § 150-17.5 F. Accessory Structures. Minimum side yard setback (one): eight feet;
  - existing patio is 2 feet from the NE property line - pre-existing non-conforming condition;
- Minimum rear yard setback: 10 feet;
  - existing patio is 42 feet from the rear property line and proposed is 40 feet – Compliant;
  - proposed condenser is 68 feet from the rear property line – Compliant;
- Maximum aggregate area covered by accessory structures in the yard it is located in: 15%; rear yard with proposed addition is 2600 square feet where 15% is 390 square feet; rear yard proposed coverage (platform, stairs and extended patio – 324 SF & shed – 150 SF) 474 square feet – **A Variance is Required**;
- Per § 150-7.13 A. No mechanical equipment shall be located within a required minimum yard requirement and shall not extend more than five feet from the structure for which they serve. Proposed AC unit on 3'x3' pad, 12 feet from the SW property line and 2' from the existing dwelling – Compliant;
- No trees are proposed to be removed. Plan shows tree limb removal only;
- This submission does not require engineering review and approval.
- The proposed limit of disturbance is below 5,000 square feet, so HEPSCD certification will not be required.

Based on the reviewed submitted items, the applicant's request for a Zoning Permit has been **denied** by this office.

Please Note:

1. No electrical, plumbing or building codes were reviewed as part of this application.

Please feel free to contact this office should you have any questions.

Respectfully Submitted,

Kathleen Mesch

Kathleen Miesch
Zoning Official
kmiesch@VeronaNJ.org

cc: Tom Jacobsen, Construction Official
Caitlin Kester, Board Secretary
Kristin Spatola, Technical Assistant
Courtney Hofmann

SHEET 22

SHEET 21

SHEET 19

OAKRIDGE ROAD

MOUNTAIN ROAD

HILLSIDE AVENUE

FELLS ROAD

WATER TANK

FAIRWAY AVENUE

GERDES AVENUE

FAIRWAY AVENUE

ESSEX COUNTY

COUNTY OF ESSEX

GEORGIAN ROAD

DRIVE

ORANGE WEST

FOREST

CUNNINGHAM DRIVE

HOWELL TERR.

SLAYBACK

BOROUGH OF

TOWNSHIP

TOWNSHIP OF VERONA EXEMPT

TOWNSHIP OF VERONA EXEMPT
29
RESERVED FOR DETENTION POND

2001 2002 2003 2004 2005 2006 2007

BLOCK LIMIT

10" WATER MAIN EASEMENT

15' SANITARY SEWER EASEMENT

10' SEWER EASEMENT

20' SWALE & UTILITY EASEMENT

10' DRAINAGE EASEMENT

20' UTILITY EASEMENT TO VERONA

20' UTILITY EASEMENT TO WEST ORANGE

15' UTILITY EASEMENT

RESERVED FOR DRAINAGE PURPOSES

20' RESERVED AREA

THIS IS A DIGITIZED COPY OF THE TAX MAP PREPARED BY CASEY & KELLER, INC AND DATED JAN. 1, 1983. THE APPROVED ORIGINAL IS ON FILED IN THE OFFICE OF THE ENGINEER.

THIS MAP HAS BEEN GIVEN A FORMAL CERTIFICATION DIVISION OF TAXATION ON NOVEMBER 27, 2015, SIGNED BY JUDY P. MILLER AND TIFFANY A. FIELDS AND ASSIGNED SERIAL NUMBER 1067

TAX MAP
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

SCALE 1"=100'

JANUARY 1, 2017

PREPARED BY
JAMES M. HELB, P.E., P.L.S., P.P.
NEW JERSEY LICENSE NO. 24272
TOWNSHIP ENGINEER
10 COMMERCE COURT
VERONA, NJ 07044

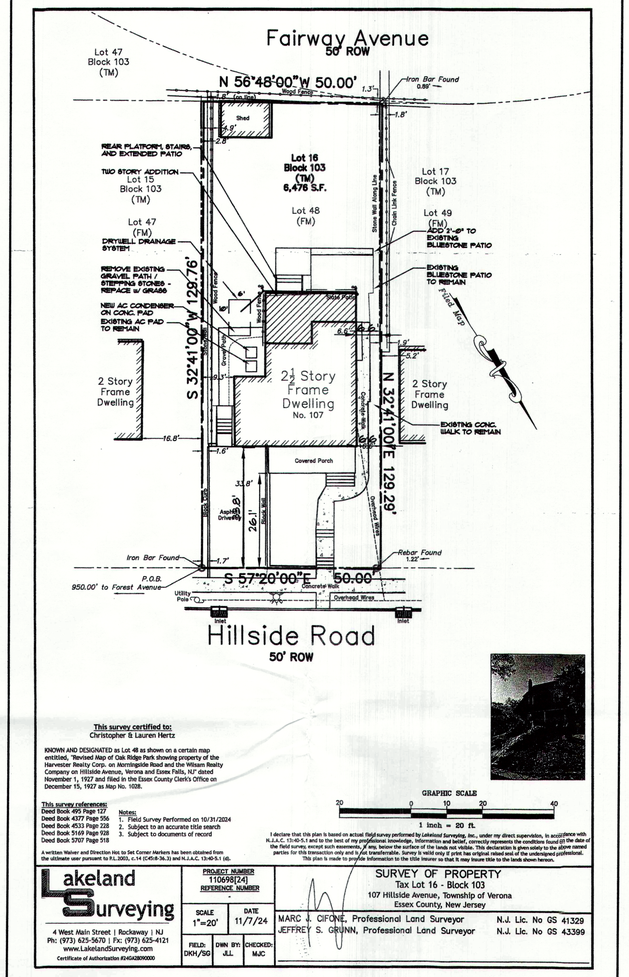
PLS	LICENSE	DATE	REVISION

ZONING DATA ZONE R-50 BLOCK 103 LOT 16

	ALLOWED	EXISTING	PROPOSED	
MINIMUM LOT SIZE	5,000 SF	6,476 SF	6,476 SF	O.K.
MINIMUM LOT WIDTH	50'-0"	50'	50'	O.K.
MINIMUM FRONT YARD	30'-0"	26.1' (EX. PORCH) 33.8' (EX. HOUSE)	26.1' (EX. PORCH) 33.8' (EX. HOUSE)	EXIST'G. NON-CONFORMING
MINIMUM SIDE YARD	8'-0"	6.6' RT. SIDE 9.3' LFT. SIDE	6.6' RT. SIDE 9.3' LFT. SIDE	EXIST'G. NON-CONFORMING ADDITION - OK PER - 150-133.B
MINIMUM SIDE YARD COMBINED	18'-0"	15.9'	15.9'	EXIST'G. NON-CONFORMING ADDITION - OK PER - 150-133.B
MINIMUM REAR YARD	30'-0"	61.6' ±	53.6' ±	O.K.
MAXIMUM BLDG. HT.	30'-0" 2 1/2 STORY	32'-9½"± 2½ STORY	29'-6"± AT ADDITION 2½ STORY	EXIST'G. NON-CONF. PROPOSED - OK
MAXIMUM BLDG. COV'G.	30 %	1296 S.F./ 6476 = 20 %	1581 S.F./ 6476 = 24.41 %	O.K.
MAXIMUM LOT COV'G.	40 %	2852 S.F./ 6476 = 44 %	2897 S.F./ 6476 = 44.74 % 4.74% OVER REQ'D. 0.74% OVER EXST'G.	EXIST'G. NON-CONF. PROPOSED - VARIANCE REQ'D.
MAXIMUM FLOOR AREA RATIO	NA	--	--	--
MAXIMUM AGGREGATE OF ACCESSORY STRUCTURES- REAR YARD	15% MAX. EXISTING- 3025x15% = 454 SF MAX PROPOSED- 2600x15% = 390 SF MAX	412 S.F. PATIO 150 S.F. SHED 562 S.F. 108 S.F. OVER 454 MAX. 562 / 3025 = 18.6% (+3.6%)	324 S.F. PATIO/STEPS 150 S.F. SHED 474 S.F. 84 S.F. OVER 390 MAX. 474 / 2600 = 18.3% (+3.3%)	EXIST'G. NON-CONF. PROPOSED - VARIANCE REQ'D.

* = INDICATES VARIANCE REQUIRED

LIST OF DRAWINGS



This survey certified to:
Christopher & Lauren Hertz

KNOWN AND DESIGNATED as Lot 48 as shown on a certain map entitled, "Revised Map of Oak Ridge Park showing property of the Harvester Realty Corp. on Morningside Road and the Witsen Realty Company on Hillside Avenue, Verona and Essex Falls, NJ" dated November 1, 1927 and filed in the Essex County Clerk's Office on December 15, 1927 as Map No. 1028.

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A written Waiver and Direction has to Set Corner Markers has been obtained from the ultimate user pursuant to P.L. 2003, c.14 (C:45:8-36.3) and N.J.A.C. 13:40-5.1 (d).

Notes:
1. Field Survey Performed on 10/31/2024
2. Subject to an accurate title search
3. Subject to documents of record

GRAPHIC SCALE
20 0 10 20 40
1 inch = 20 ft.

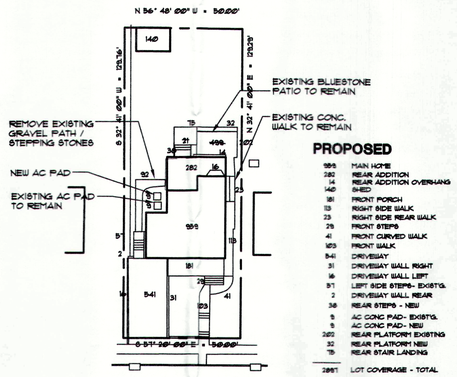
I declare that this plan is based on actual field survey performed by Lakeland Surveying, Inc., under my direct supervision, in accordance with N.J.A.C. 13:40-5.1 and to the best of my professional knowledge, information and belief, correctly represents the conditions found on the date of the field survey, except such easements, if any, below the surface of the lands not visible. This declaration is given solely to the above named parties for this transaction only and is not transferrable. Survey is valid only if print has original raised seal of the undersigned professional. This plan is made to provide information to the title insurer so that it may insure title to the lands shown hereon.

Lakeland Surveying
4 West Main Street | Rockaway | NJ
Ph: (973) 625-5670 | Fx: (973) 625-4121
www.LakelandSurveying.com
Certificate of Authorization #24GA28090000

PROJECT NUMBER 110698724
REFERENCE NUMBER -
SCALE 1"=20'
DATE 11/7/24
FIELD: DKH/SG
DWN BY: JJL
CHECKED: MJC

SURVEY OF PROPERTY
Tax Lot 16 - Block 103
107 Hillside Avenue, Township of Verona
Essex County, New Jersey

MARC J. CIFONE, Professional Land Surveyor N.J. Lic. No GS 41329
JEFFREY S. GRUNN, Professional Land Surveyor N.J. Lic. No GS 43399



AREA ANALYSIS
PROPOSED
SITE PLAN
SCALE : 1" = 20'-0"

THIS SITE PLAN IS BASED ON A SURVEY DRAWN BY LAKELAND SURVEYING
NJ LICENCED PROFESSIONAL LAND SURVEYOR
#24GA28090000
97 HIBERNIA AVE, ROCKAWAY, NJ

DRAWING DATED 7-8-2015

IRC CODE NOTES

1.) ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES:
2021 INTERNATIONAL BLDG. CODE NEW JERSEY EDITION
2021 INTERNATIONAL RESID. CODE NEW JERSEY EDITION

2.) USE GROUP - R-3
CONSTR. CLASS. - 5B

3.) EXISTING SQUARE FOOTAGE

FIRST FLOOR -	959 S.F.
SECOND FLOOR -	698 S.F.
TOTAL -	1657 S.F.
SHED (NOT INCL.) -	140 S.F.
FRONT PORCH -	181 S.F.

4.) NEW SQUARE FOOTAGE

FIRST FLOOR -	282 S.F.
SECOND FLOOR -	368 S.F.
TOTAL -	650 S.F.

5.) TOTAL SQUARE FOOTAGE

FIRST FLOOR -	1241 S.F.
SECOND FLOOR -	1066 S.F.
TOTAL -	2307 S.F.

6.) TOTAL VOLUME NEW

TOTAL -	6153 C.F.

NO	DATE	REVISIONS

PROPOSED NEW ADDITION FOR :

CHRIS & LAUREN HERTZ

-

107 HILLSIDE AVENUE
VERONA, N.J. 07044

SITE PLAN, CODE INFO, AND NOTES
DEMO PLAN AND NOTES

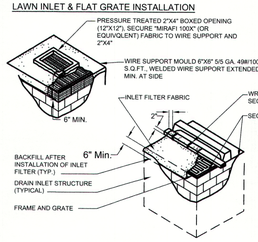
JSK ARCHITECTURE LLC
JAMES S. KARAS, ARCHITECT
27 BRIAR HILLS CIRCLE
SPRINGFIELD, N.J. 07081
TEL. 973 - 467 - 9340
FAX 973 - 218 - 8490
JAMES S. KARAS N.J. C-09897

DATE	JOB NO
JAN. 10, 2025	23-0426
SCALE: AS NOTED	DWN. BY: J.K.

DWG. NO **ST-1**

CHECKED J.K.

LAWN INLET & FLAT GRATE INSTALLATION



NOTES:
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER STORM.
2. CONTRACTOR TO REMOVE FABRIC AND MESH JUST PRIOR TO PAVING.
3. IF BOTTOM OF ROADWAY IS BELOW TOP OF INET GRATE, CONSTRUCT PROPERLY FITTED OPENING(S) IN INLET WALL TO ALLOW PASSAGE OF WATER.
4. THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.

DRYWELL SECTION

DRYWELL NOTES:

1. CONTRACTOR SHALL INFORM THE ENGINEER WHEN EXCAVATING THE DRYWELL PIT SO THAT AN INSPECTION CAN BE MADE TO DETERMINE THE SUITABILITY OF THE SOILS AND DEPTH OF WATER TABLE BEFORE FILTER FABRIC, PRECAST SEEPAGE RINGS, OR STONE IS PLACED.
2. UNSUITABLE MATERIAL SHALL BE REMOVED FROM EXCAVATION FIELD UNTIL 2' MINIMUM PENETRATION INTO VIRGIN STRATA OF SAND/GRAVEL/PERVIOUS SOIL.
3. LOCATION OF THE DRYWELL AND OVERFLOW PIPE ARE APPROXIMATE ONLY. THEIR LOCATION MAY BE ADJUSTED IN THE FIELD DEPENDING ON SURFACE AND SUBSURFACE CONDITIONS.
4. ALL UNDERGROUND PIPE SHALL BE MINIMUM SCHEDULE 40 PVC.
5. CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY AS TO ANY SURFACE OR SUB-SURFACE CONDITIONS THAT MAY IMPAIR THE USE OR FUNCTION OF THE DRYWELL SYSTEM.
6. THE OVERFLOW PIPE SHALL BE BACKFILLED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS. BACKFILL MATERIAL SHALL BE CLEAN AND FREE OF VEGETATION, FROZEN SOIL, COBBLES, BOULDERS, OR OTHER UNSATISFACTORY MATERIALS.

TEMPORARY VEGETATIVE STABILIZATION GRASSES, SEEDING RATES, DATES AND DEPTHS

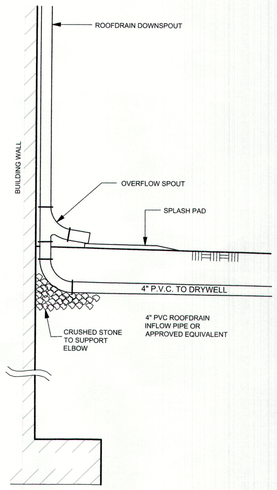
SEED SELECTIONS	SEEDING RATE (1) (pounds)		OPTIMUM SEEDING DATE (2) based on Plant Hardiness Zone			OPTIMUM SEEDING DEPTH (3) (inches)
	Per Acre	Per 1000 Sq. Ft.	ZONE 5b, 6a	ZONE 6b	ZONE 7a, 7b	
COOL SEASON GRASSES						
PERENNIAL RYEGRASS	40	1.0	3/15-6/1 8/1-9/15	3/1-5/15 8/15-10/1	2/15-5/1 8/15-10/15	0.5
SPRING OATS	86	2.0	3/15-6/1 8/1-9/15	3/1-5/15 8/15-10/1	2/15-5/1 8/15-10/15	1.0
WINTER BARLEY	96	2.2	8/1-9/15	8/15-10/1	8/15-10/15	1.0
WINTER CEREAL RYE	112	2.8	8/1-11/1	8/1-11/15	8/1-12/15	1.0
WARM SEASON GRASSES						
PEARL MILLET	20	0.5	6/1-8/1	5/15-8/15	5/1-9/1	1.0
MILLET(GERMAN OR HUNGARIAN)	30	0.7	6/1-8/1	5/15-8/15	5/1-9/1	1.0
WEEPING LOVEGRASS	5	0.2	6/1-8/1	5/15-8/15	5/1-9/1	0.25

PERMANENT VEGETATIVE COVER

APPLICATION	SEED SELECTIONS	SEEDING RATE (pounds/Acre)	LIMESTONE (tons/Acre)	FERTILIZER (lbs/Acre)	OPTIMUM SEEDING DATES
RESIDENTIAL/COMMERCIAL LOTS	TURF TYPE TALL FESCUE	150	2	50 10-20-10	3/1-4/30 & 8/15-11/15
DRAINAGE DITCHES	REED CANARY GRASS	25	2	50 10-20-10	3/1-4/30 & 8/15-11/15
SWALES AND DETENTION BASINS	KENTUCKY BLUEGRASS	60			

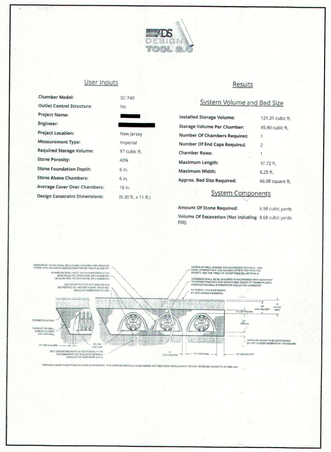
1. SEEDING RATE FOR WARM GRASS, SELECTION 5-7 SHALL BE ADJUSTED TO REFLECT THE AMOUNT OF PURE LINE SEED (PLS) AS DETERMINED BY A GERMINATION TEST RESULT. NO ADJUSTMENT IS REQUIRED FOR COOL SEASON GRASSES.
2. MAY BE PLANTED THROUGHOUT SUMMER, IF SOIL MOISTURE IS ADEQUATE OR SEEDED AREA CAN BE IRRIGATED
3. TWICE THE DEPTH FOR SANDY SOILS

6. PROTECT TREE (DRIPLINE ROOT AREA. ANY (PRIOR TO WORK BEING COMPLETED) TO TI APPROVAL.

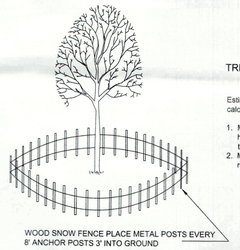


ROOF LEADER W/ SPLASH PAD DETAIL

NOT TO SCALE



TREE LIMB REMOVAL DETAIL



TREE PROTECTION DETAIL

Estimate a tree's Protected Root Zone (PRZ) by calculating the Critical Root Radius (CRR).

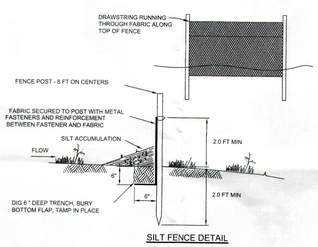
1. Measure the DBH (Diameter of tree at breast height, 4.5 feet above ground on the uphill side of tree) in inches.
2. Multiply measured DBH by 1.5 or 1.0. Express the result in feet.

DBH x 1.5: Critical Root Radius for older, unhealthy, or sensitive species.

DBH x 1.0: Critical Root Radius for younger, healthy or tolerant species.

TREE PROTECTION NOTES:

1. SNOW FENCING SHOULD BE INSTALLED AT DRIP LINE OF TREE BRANCHES.
2. NO BOARDS ARE TO BE NAILED TO TREES.
3. FEEDER ROOTS SHOULD NOT BE CUT INSIDE THE TREE BRANCHES DRIP LINE.
4. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE TO TRUNK OR MAIN BRANCH.
5. ALL TREES INSIDE THE LIMIT OF DISTURBANCE TO BE PRESERVED MUST BE PROTECTED WITH ORANGE TREE PROTECTION FENCE.
6. PROTECT TREE DRIPLINE ROOT AREA. ANY CHANGE MUST BE FORWARDED (PRIOR TO WORK BEING COMPLETED) TO THE TOWNSHIP FORESTER FOR APPROVAL.



SILT FENCE DETAIL

N.T.S.

REQUIREMENTS FOR SILT FENCE.

1. FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
2. A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED. FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEO-TEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
3. A GEO-TEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEO-TEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.

MAINTENANCE

1. SILT FENCE SHALL BE INSPECTED AFTER EVERY RAIN EVENT. ANY DAMAGE MUST BE REPAIRED IMMEDIATELY.
2. SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UPSTREAM SIDE OF THE SILT FENCE WHEN IT ACCUMULATES TO THE EXTENT THAT VISIBLE BULGES DEVELOP IN THE FENCE OR REACHES HALFWAY UP THE FENCE.
3. SILT FENCE SHALL ONLY BE REMOVED AFTER VEGETATIVE GROWTH OR OTHER STABILIZATION MEASURES HAVE BEEN ACHIEVED.

DUST CONTROL NOTES

1. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS, AND INSTALL ALL MEASURES NECESSARY TO REASONABLY CONTROL SOIL EROSION AND TO PREVENT SEDIMENT FROM WASHING DOWNSTREAM OR FROM BEING BLOWN ABOUT THE SITE AND INTO ADJACENT NEIGHBORHOODS.
2. THE CONTRACTOR IS TO FOLLOW THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN INCLUDING THE GENERALIZED SEQUENCE OF CONSTRUCTION.
3. DUST CONTROL METHODS, EQUIPMENT, PRODUCTS, SEQUENCE OF OPERATIONS, AND MAINTENANCE IS TO FOLLOW THE REQUIREMENTS OF THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, LATEST REVISION. THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST (PAGE NUMBERS REFER TO THE NJ STANDARDS):
   - MULCHES - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1).
   - VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PG. 7-1), PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (PG. 4-1), AND PERMANENT STABILIZATION WITH SOD (PG. 6-1)
   - TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
   - SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
   - BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
   - CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.
   - STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.
   - SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

TABLE 16-1: DUST CONTROL MATERIALS

APPLICATION MATERIAL	WATER DILUTION	TYPE OF NOZZLE	RATE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON	APPLY ACCORDING TO MFR. INSTRUCTIONS MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD (PG.26-1)		
POLYACRYLAMIDE (PAM) - DRY SPRAY	NONE	COARSE SPRAY	1200
ACIDUATED SOY BEAN SOAP STICK			

4. IF SOIL, DUST, OR MUD SHOULD GET TRACKED ONTO AREA ROADWAYS, THE CONTRACTOR IS TO USE POWER BROOMS, SWEEPERS, OR OTHER SUITABLE MEANS TO PROMPTLY REMOVE SUCH MATERIALS.
5. THE CONTRACTOR IS TO MAINTAIN THE SOIL EROSION, SEDIMENT CONTROL AND DUST CONTROL FEATURES UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED, APPROVED, AND ACCEPTED BY THE OWNER.

STANDARD FOR STABILIZATION WITH MULCH ONLY

Definition

Stabilizing exposed soils with non-vegetative materials exposed for periods longer than 14 days

Purpose

To protect exposed soil surfaces from erosion damage and to reduce offsite environmental damage.

Water Quality Enhancement

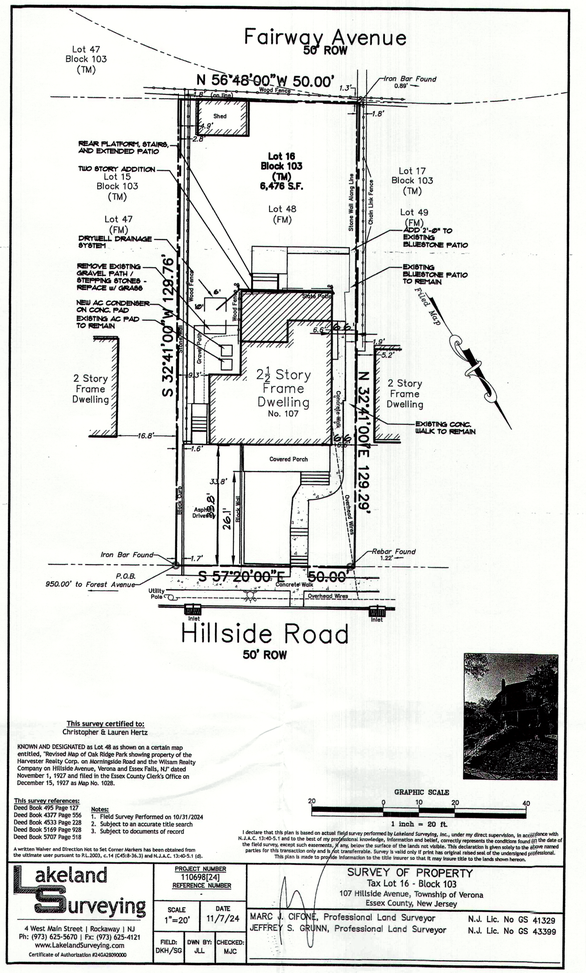
Provides temporary mechanical protection against wind or rainfall induced soil erosion until permanent vegetative cover may be established.

Where Applicable

This practice is applicable to areas subject to erosion, where the season and other conditions may not be suitable for growing an erosion-resistant cover or where stabilization is needed for a short period until more suitable protection can be applied.

Methods and Materials

1. Site Preparation
   A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading
   B. Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42.
2. Protective Materials
   A. Unrotted small-grain straw, at 2.0 to 2.5 tons per acre, is spread uniformly at 90 to 115 pounds per 1,000 square feet and anchored with a mulch anchoring tool, liquid mulch binders, or netting tie down. Other suitable materials may be used if approved by the Soil Conservation District. The approved rates above have been met when the mulch covers the ground completely upon visual inspection, i.e. the inspector cannot see the ground below the mulch.
   B. Synthetic or organic soil stabilizers may be used under suitable conditions and in quantities as recommended by the manufacturer.
   C. Wood-fiber or paper-fiber mulch at the rate of 1,500 pounds per acre (or according to the manufacturer's requirements) may be applied by a hydroseeder.
   D. Mulch netting, such as paper jute, excelsior, cotton, or plastic, may be used.
   E. Woodchips applied uniformly to a minimum depth of 2 inches may be used. Woodchips will not be used on areas where flowing water could wash them into an inlet and plug it.
   F. Gravel, crushed stone, or slag at the rate of 9 cubic yards per 1,000 sq. ft. applied uniformly to a minimum depth of 3 inches may be used. Size 2 or 3 (ASTM C-33) is recommended.
3. Mulch Anchoring - should be accomplished immediately after placement of hay or straw mulch to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area and steepness of slopes.
   A. Peg and Twine - Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.
   B. Mulch Nettings - Staple paper, cotton, or plastic nettings over mulch. Use degradable netting in areas to be mowed. Netting is usually available in rolls 4 feet wide and up to 300 feet long.
   C. Crimper Mulch Anchoring Coulter Tool - A tractor-drawn implement especially designed to punch and anchor mulch into the soil surface. This practice affords maximum erosion control, but its use is limited to those slopes upon which the tractor can operate safely. Soil penetration should be about 3 to 4 inches. On sloping land, the operation should be on the contour.
   D. Liquid Mulch-Binders
      i. Applications should be heavier at edges where wind catches the mulch, in valleys, and at crests of banks. Remainder of area should be uniform in appearance.
      ii. Use one of the following:
      a. Organic and Vegetable Based Binders - Naturally occurring, powder based, hydrophilic materials that mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membrane networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phyto-toxic effect or impede growth of turfgrass. Vegetable based gels shall be applied at rates and weather conditions recommended by the manufacturer.
      b. Synthetic Binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates and weather conditions recommended by the manufacturer and remain tacky until germination of grass.



This survey certified to:
Christopher & Lauren Hertz

KNOWN AND DESIGNATED as Lot 48 as shown on a certain map entitled, "Revised Map of Oak Ridge Park showing property of the Harvester Realty Corp. on Morningside Road and the Wilson Realty Company on Hillside Avenue, Verona and Essex Falls, NJ" dated November 1, 1927 and filed in the Essex County Clerk's Office on December 15, 1927 as Map No. 1028.

This survey references:
Deed Book 495 Page 127
Deed Book 4377 Page 556
Deed Book 4533 Page 228
Deed Book 5169 Page 928
Deed Book 5707 Page 518

Notes:
1. Field Survey Performed on 10/31/2024
2. Subject to an accurate title search
3. Subject to documents of record

A written Waiver and Direction Not to Set Corner Markers has been obtained from the ultimate user pursuant to P.L.2003, c.14 (C:45:8-36.3) and N.J.A.C. 13:40-5.1 (d).

GRAPHIC SCALE
20 0 10 20 40
1 inch = 20 ft.

I declare that this plan is based on actual field survey performed by Lakeland Surveying, Inc., under my direct supervision, in accordance with N.J.A.C. 13:40-5.1 and to the best of my professional knowledge, information and belief, correctly represents the conditions found on the date of the field survey, except such easements, if any, below the surface of the lands not visible. This declaration is given solely to the above named parties for this transaction only and is not transferrable. Survey is valid only if print has original raised seal of the undersigned professional. This plan is made to provide information to the title insurer so that it may insure title to the lands shown hereon.

Lakeland Surveying
4 West Main Street | Rockaway | NJ
Ph: (973) 625-5670 | Fx: (973) 625-4121
www.Lakeland1Surveying.com
Certificate of Authorization #24GA28090000

PROJECT NUMBER 110698[24] REFERENCE NUMBER
SCALE 1"=20'
DATE 11/7/24
FIELD: DKH/SG
DWN BY: JJL
CHECKED: MJC

SURVEY OF PROPERTY
Tax Lot 16 - Block 103
107 Hillside Avenue, Township of Verona
Essex County, New Jersey

MARC J. CIFONE, Professional Land Surveyor N.J. Lic. No GS 41329
JEFFREY S. GRUNN, Professional Land Surveyor N.J. Lic. No GS 43399

NO	DATE	REVISIONS

PROPOSED NEW ADDITION FOR :

CHRIS & LAUREN HERTZ
-
107 HILLSIDE AVENUE
VERONA, N.J. 07044

SOIL EROSION AND SEDIMENT CONTROL PLAN, DETAILS AND NOTES

JSK ARCHITECTURE LLC
JAMES S. KARAS, ARCHITECT
27 BRIAR HILLS CIRCLE
SPRINGFIELD, N.J. 07081
TEL. 973 - 467 - 9340
FAX 973 - 218 - 8490
JAMES S. KARAS N.J. C-09697

DATE	JOB NO
JAN. 10, 2025	23-0426
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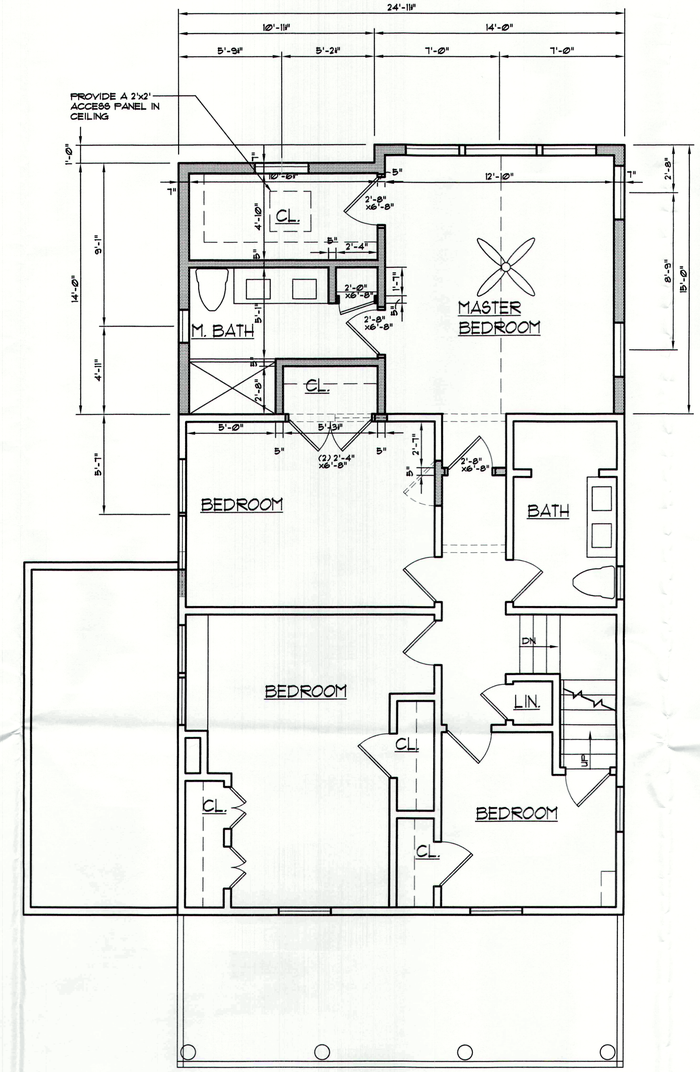
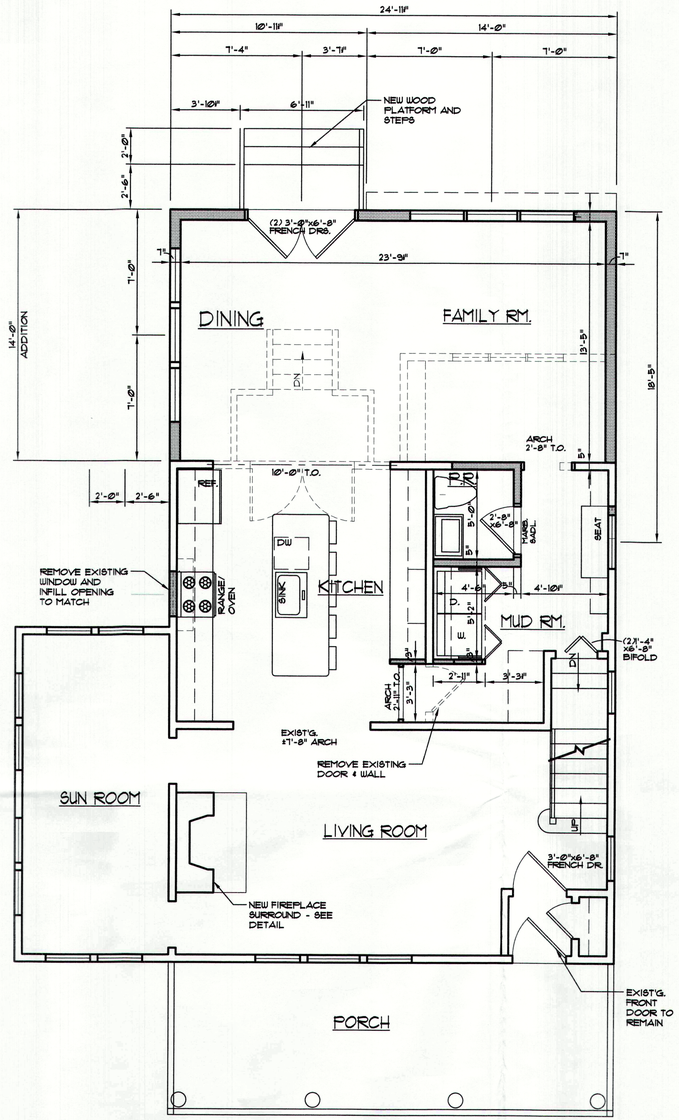


SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION 2"x4" WD. STUDS @ 16" o.c. WITH ½" GYP. BD. OVER AND R-13 INSUL. AT PERIMETER OF HEATED AREAS
- REMOVE EXISTING CONSTRUCTION
- DUPLEX OUTLET - LUTRON
- GFI — GROUND FAULT INTERUPTOR DUPLEX OUTLET - LUTRON
- WP — WEATHERPROOF DUPLEX OUTLET - LUTRON
- SD — SMOKE DETECTOR - (HARD WIRE INTO ELECTRICAL SYSTEM)
- CM — CARBON MONOXIDE DETECTOR - (HARD WIRE INTO ELECTRICAL SYSTEM)
- SWITCH
- 3 — SWITCH - 3 WAY
- D — SWITCH - w/ DIMMER
- RECESSED DOWNLIGHT
- SURFACE MOUNTED LIGHT FIXTURE - AS SELECTED BY OWNER
- A1 — DOOR NUMBER - SEE DOOR SCHEDULE
- 3 — WINDOW NUMBER - SEE DOOR SCHEDULE
- HANGING LIGHT FIXTURE AS SELECTED BY OWNER
- SD — SMOKE DETECTOR (HARD WIRE INTO ELECTRICAL SYSTEM)
- CM — CARBON MONOXIDE DETECTOR (HARD WIRE INTO ELECTRICAL SYSTEM)
- EXHAUST FAN - DUCT TO EXTERIOR

NO	DATE	REVISIONS

PROPOSED NEW ADDITION FOR :

CHRIS & LAUREN HERTZ

-

107 HILLSIDE AVENUE
VERONA, N.J. 07044

FIRST FLOOR PLAN, SECOND FLOOR PLAN, DETAILS

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JAMES S. KARAS N.J. C-09597

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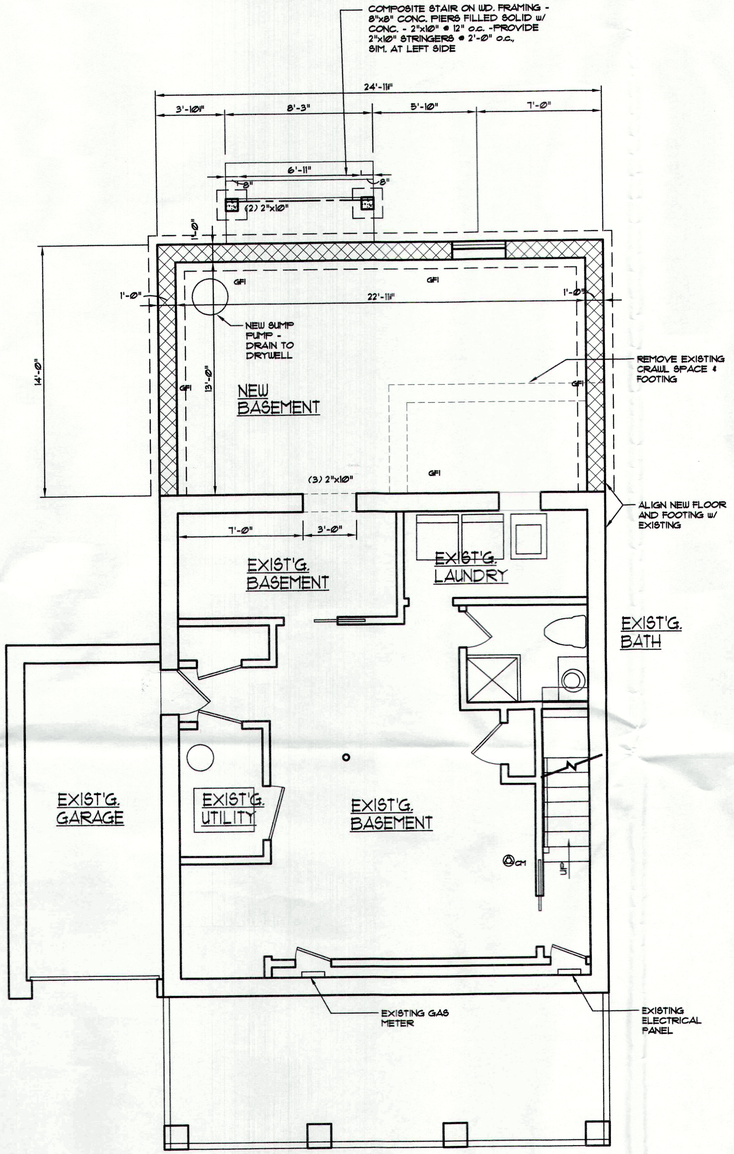
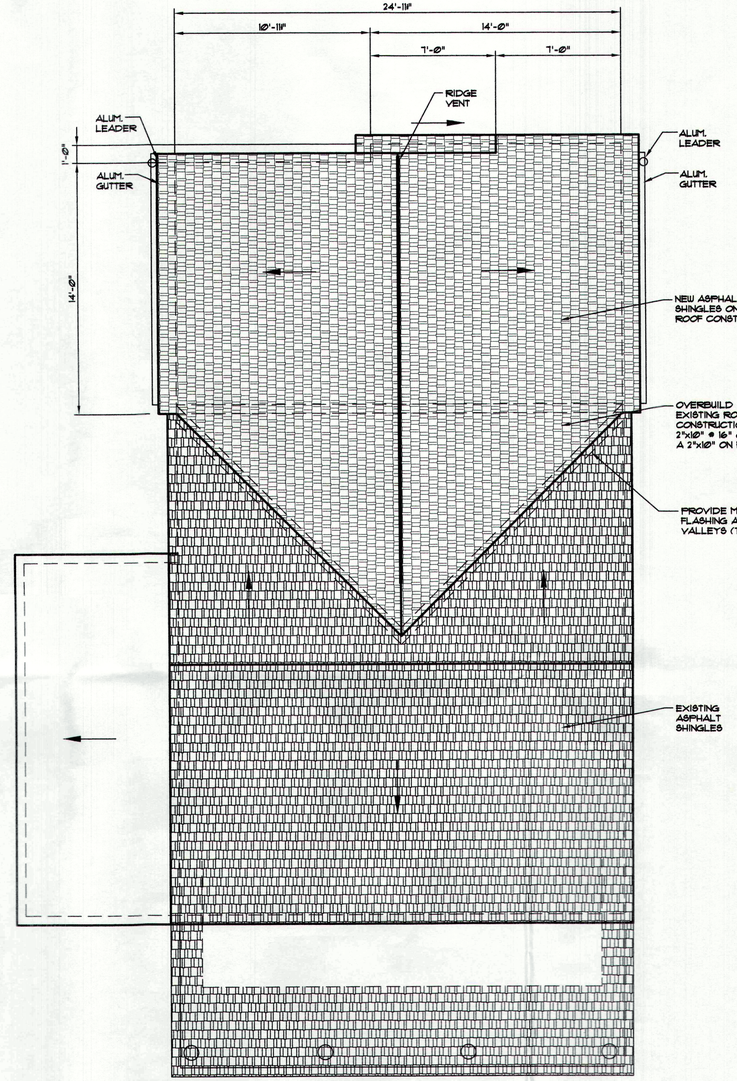


BASEMENT PLAN

SCALE : 1/4" = 1'-0"



ROOF PLAN

SCALE : 1/4" = 1'-0"

AT EXISTING ROOF CONSTRUCTION TO REMAIN :
(SHOWN LIGHTER)
NEW ASPHALT SHINGLES ON EXISTING CONSTRUCTION
REMOVE EXISTING ASPHALT SHINGLES.
SEE NOTES FOR NEW ROOF.

AT NEW ROOF CONSTRUCTION :
(SHOWN DARKER)
PROVIDE NEW ASPHALT SHINGLES OVER NEW ROOF.
ASPHALT SHINGLES SHALL BE GAF TIMBERLINE, COLOR AS SELECTED BY OWNER. REMOVE ENTIRE EXISTING ROOF DOWN TO SHEATHING. INSTALL ICE DAMMING BARRIER AS DESCRIBED IN NOTE. PROVIDE 15# BUILDING PAPER OVER ½" EXTERIOR GRADE SHEATHING.

EAVE FLASHING :
PROVIDE ICE DAMMING BARRIER 6'-0" IN FROM PERIMETER AROUND ENTIRE ROOF. DOUBLE UNDER-UNDERLAYMENT CEMENTED TO SHEATHING. UNDERLAYMENT TO OVERLAP METAL DRIP BY ⅜".

NOTE : PROVIDE FLASHING AT ALL VALLEYS, INTERSECTION OF ROOF AND WALLS, ETC.

REMOVE EXISTING GUTTERS AND LEADERS AND INSTALL NEW GUTTERS AND LEADERS

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION 2"x4" WD. STUDS @ 16" o.c. WITH ½" GYP. BD. OVER AND R-13 INSUL. AT PERIMETER OF HEATED AREAS
- REMOVE EXISTING CONSTRUCTION
- DUPLEX OUTLET - LUTRON
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NO	DATE	REVISIONS

PROPOSED NEW ADDITION FOR :

CHRIS & LAUREN HERTZ

-

107 HILLSIDE AVENUE
VERONA, N.J. 07044

BASEMENT PLAN,
ROOF PLAN

-

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DATE	JOB NO
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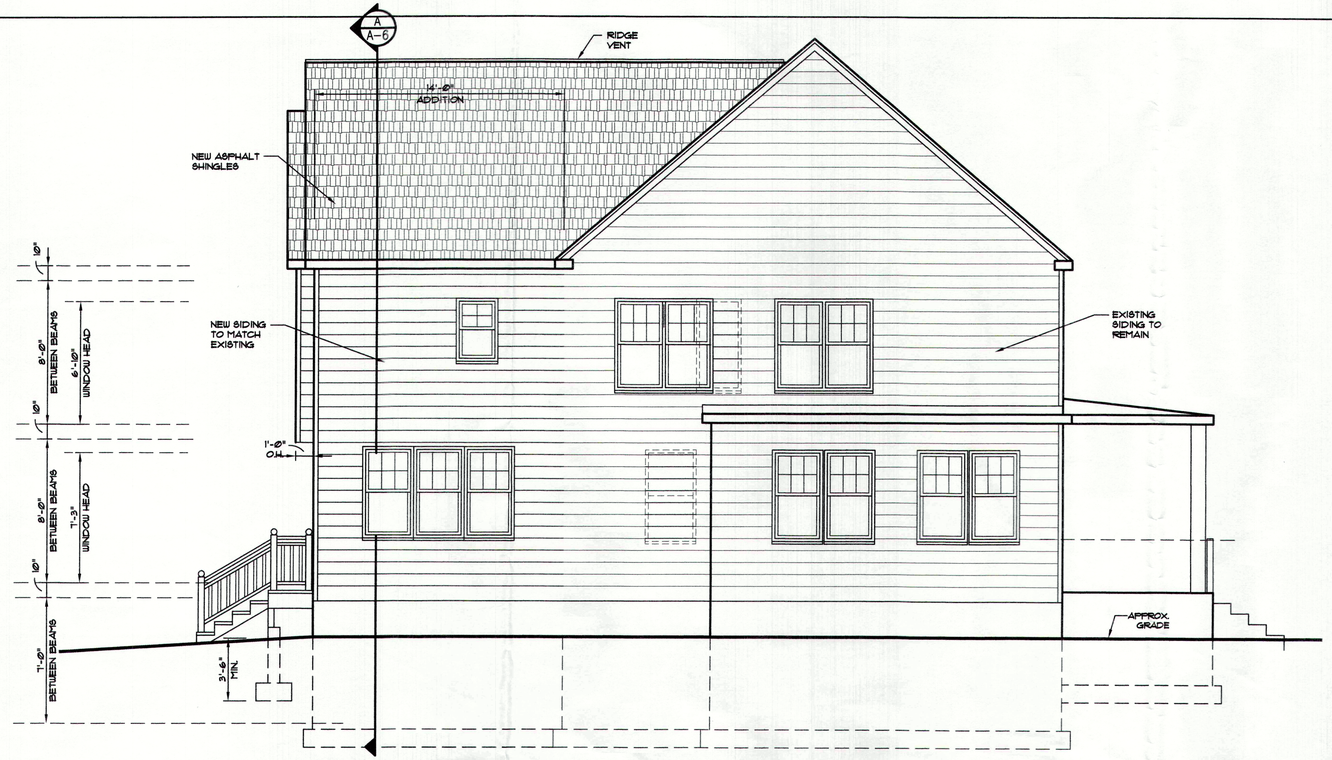
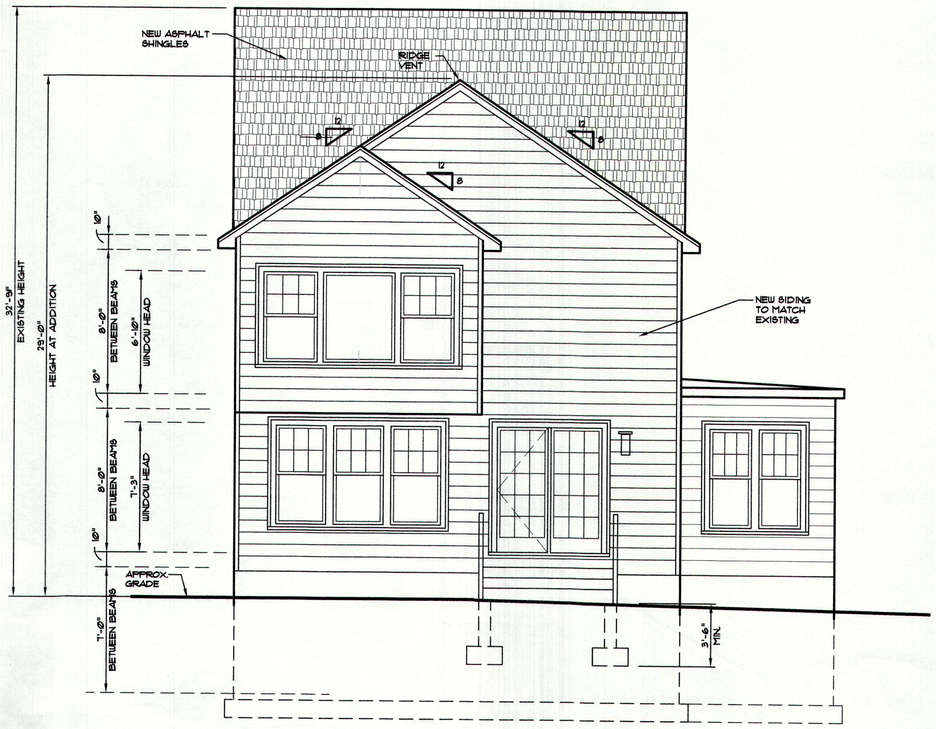


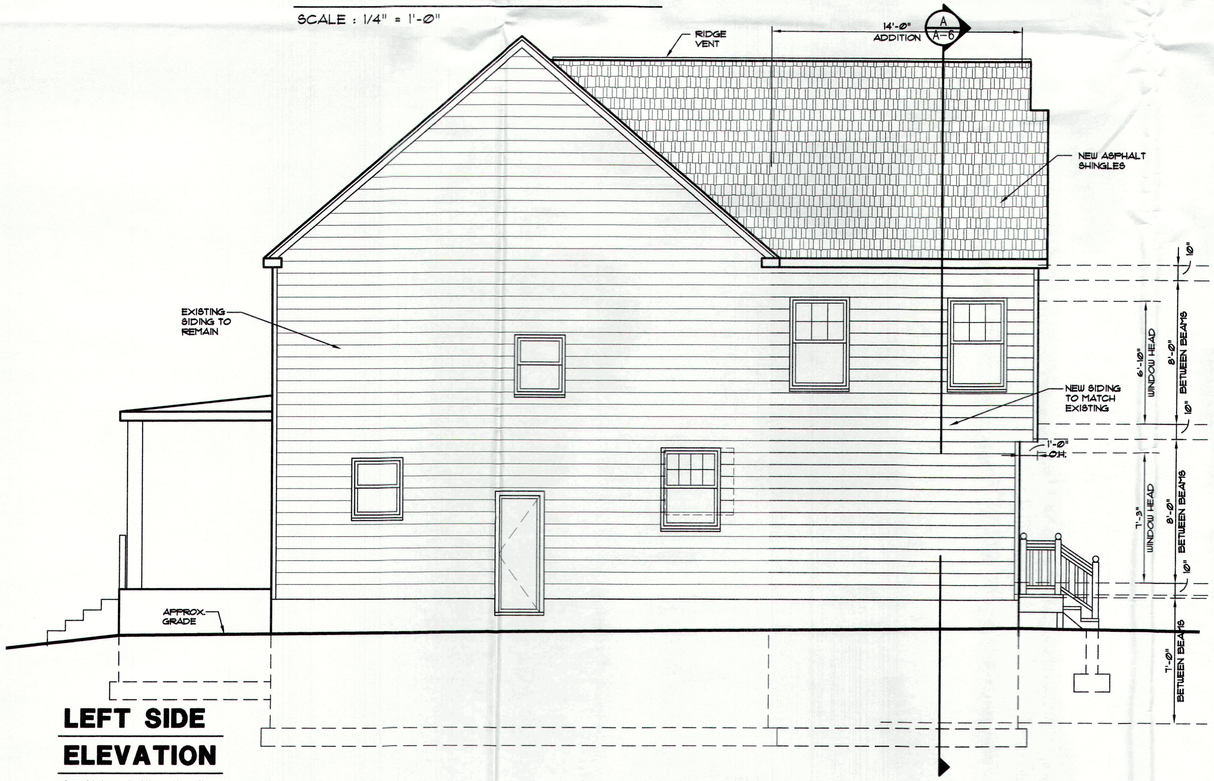
RIGHT SIDE ELEVATION

SCALE : 1/4" = 1'-0"



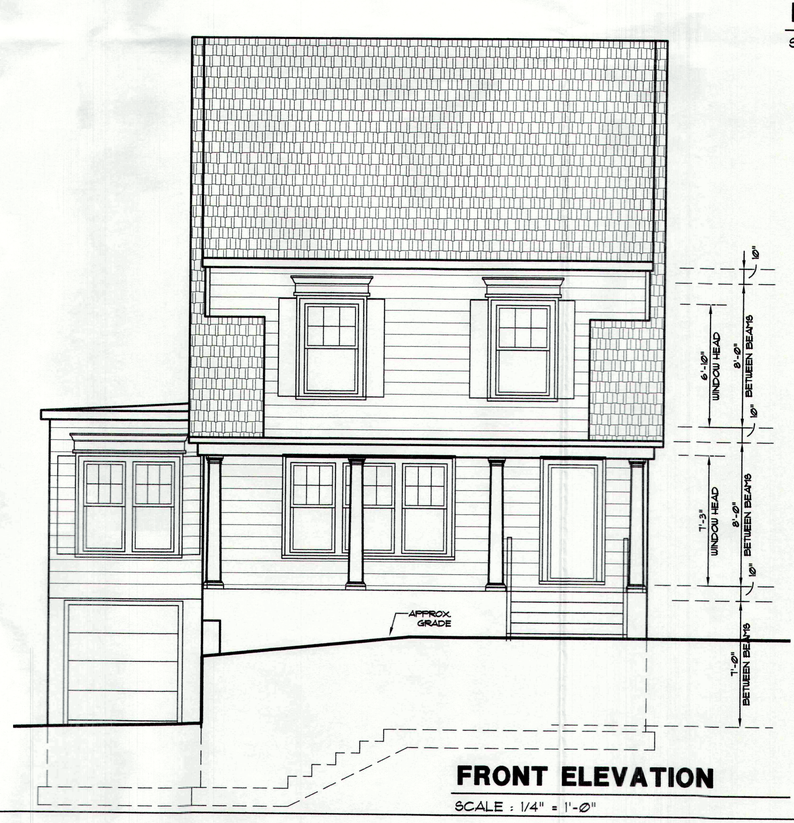
REAR ELEVATION

SCALE : 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE : 1/4" = 1'-0"



FRONT ELEVATION

SCALE : 1/4" = 1'-0"

NO	DATE	REVISIONS

PROPOSED NEW ADDITION FOR :

CHRIS & LAUREN HERTZ

-

107 HILLSIDE AVENUE
VERONA, N.J. 07044

REAR AND RIGHT SIDE ELEVATIONS

-

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JAMES S. KARAS N.J. C-09887

DATE	JOB NO
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